

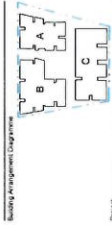
ATTACHMENT A

**SELECTED DEVELOPMENT APPLICATION
DRAWINGS**

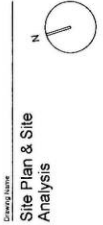
**105-115 PORTMAN STREET, ZETLAND -
SITE 12A**



1000 Avenue of the Americas
 10th Floor
 New York, NY 10020-1097
 Tel: 212 512 2000
 Fax: 212 512 2001
 www.jb.com



PROJECT
 PORTMAN STREET
 105-115 Portman St, Green
 Square, NSW 2017
 for
 BRIDGEHILL



**Site Plan & Site
 Analysis**

Date	27.01.15	Scale	As indicated	Sheet Size	A1
Proj No.	EK	Client	EK	City	NY
Job No.	5036	Drawing No.	DA-0101	Revision	28

Reg. Desc. **Revision** **By** **DA**

1. 3/4/15

2. 10/10/15

3. 10/10/15

4. 10/10/15

5. 10/10/15

6. 10/10/15

7. 10/10/15

8. 10/10/15

9. 10/10/15

10. 10/10/15

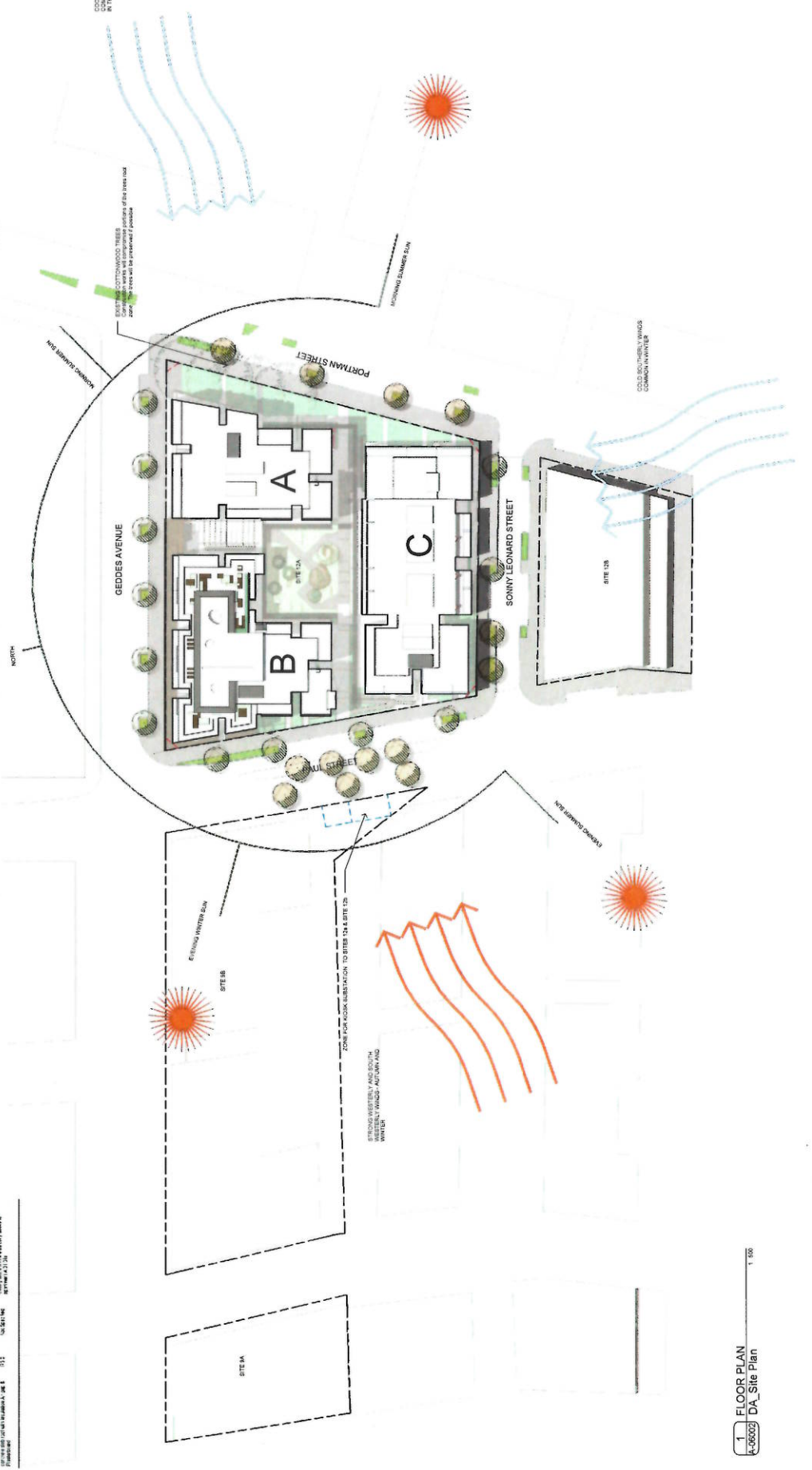
11. 10/10/15

12. 10/10/15

Zone	Code	Description	Min. Height	Max. Height	Min. Area	Max. Area	Min. Setback	Max. Setback	Min. Spacing	Max. Spacing	Min. Spacing	Max. Spacing
Zone 1	R1	Residential Single-Dwelling	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 2	R2	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 3	R3	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 4	R4	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 5	R5	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 6	R6	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 7	R7	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 8	R8	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 9	R9	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 10	R10	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

Zone	Code	Description	Min. Height	Max. Height	Min. Area	Max. Area	Min. Setback	Max. Setback	Min. Spacing	Max. Spacing	Min. Spacing	Max. Spacing
Zone 11	R11	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 12	R12	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 13	R13	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 14	R14	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 15	R15	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 16	R16	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 17	R17	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 18	R18	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 19	R19	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 20	R20	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

Zone	Code	Description	Min. Height	Max. Height	Min. Area	Max. Area	Min. Setback	Max. Setback	Min. Spacing	Max. Spacing	Min. Spacing	Max. Spacing
Zone 21	R21	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 22	R22	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 23	R23	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 24	R24	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 25	R25	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 26	R26	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 27	R27	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 28	R28	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 29	R29	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Zone 30	R30	Residential Medium Density	3.0m	4.0m	100sqm	150sqm	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m





NSW Architects
 No. 100000000
 No. 100000000
 No. 100000000
 No. 100000000

Project: **SITE 12A**
 105 - 115 Portman St. Green
 Square, NSW 2017
 for **BRIDGEHILL**

Client: **Floor Plan - BASEMENT 02**

Date: 28.08.15
 Scale: 1:200
 Drawn: MY
 Checked: JP
 Job No.: 5036
 Drawing No.: DA-0201
 Revision: 30

Description	Total
PARKING PROVISION FOR SITE	
Standard Carpark	187
Disabled Carpark	14
Motorcycle Carpark	4
Visitor Carpark	1
SERVICE VEHICLE PROVISION	
Service Vehicle Carpark	1
VISITOR PARKING PROVISION	
Visitor Carpark	22
Visitor Motorcycle Carpark	7
Visitor Disabled Carpark	3
BICYCLE PARKING - RESIDENTIAL	
Residential Bicycle Parking	31

LEPDCP REQUIREMENTS GENERAL CARPARK SUMMARY

TOTALING OF SPACES: 2M

STANDARD: 1.5%
 DISABLED: 1.5%
 MOTORCYCLE: 1.5%
 VISITOR: 1.5%

MAX. RESIDENTIAL: 2M CAR SPACES
 RETAIL: 2M CAR SPACES
 TOTAL ALLOWABLE PARKING: 2M CAR SPACES

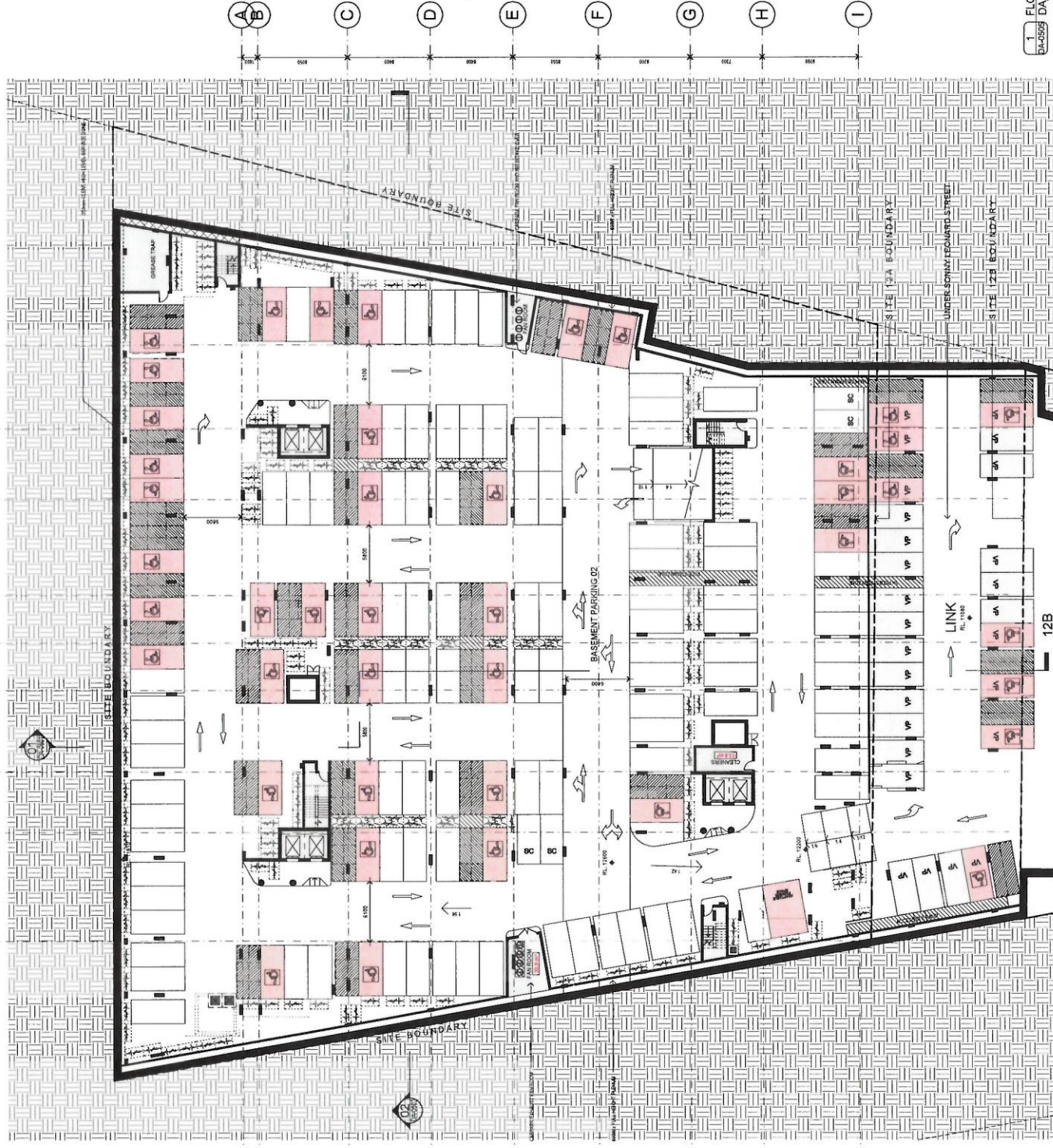
MAX. ACCESSIBLE SPACES: 2M Car Spaces
 MAX. SERVICE VEHICLES: 2M Car Spaces
 MAX. BICYCLE STORAGE: 2M Car Spaces

CARPARK REQUIREMENTS (in terms of total allowed spaces)

MAX. ACCESSIBLE SPACES: 2M Car Spaces
 MAX. SERVICE VEHICLES: 2M Car Spaces
 MAX. BICYCLE STORAGE: 2M Car Spaces

BICYCLE PARKING LEGEND

1. Standard Bicycle Parking
 2. Disabled Bicycle Parking
 3. Visitor Bicycle Parking
 4. Residential Bicycle Parking



1 FLOOR PLAN
 DA-0201 DA-BASEMENT 02

REFER TO SITE 12B FOR PARKING LAYOUT

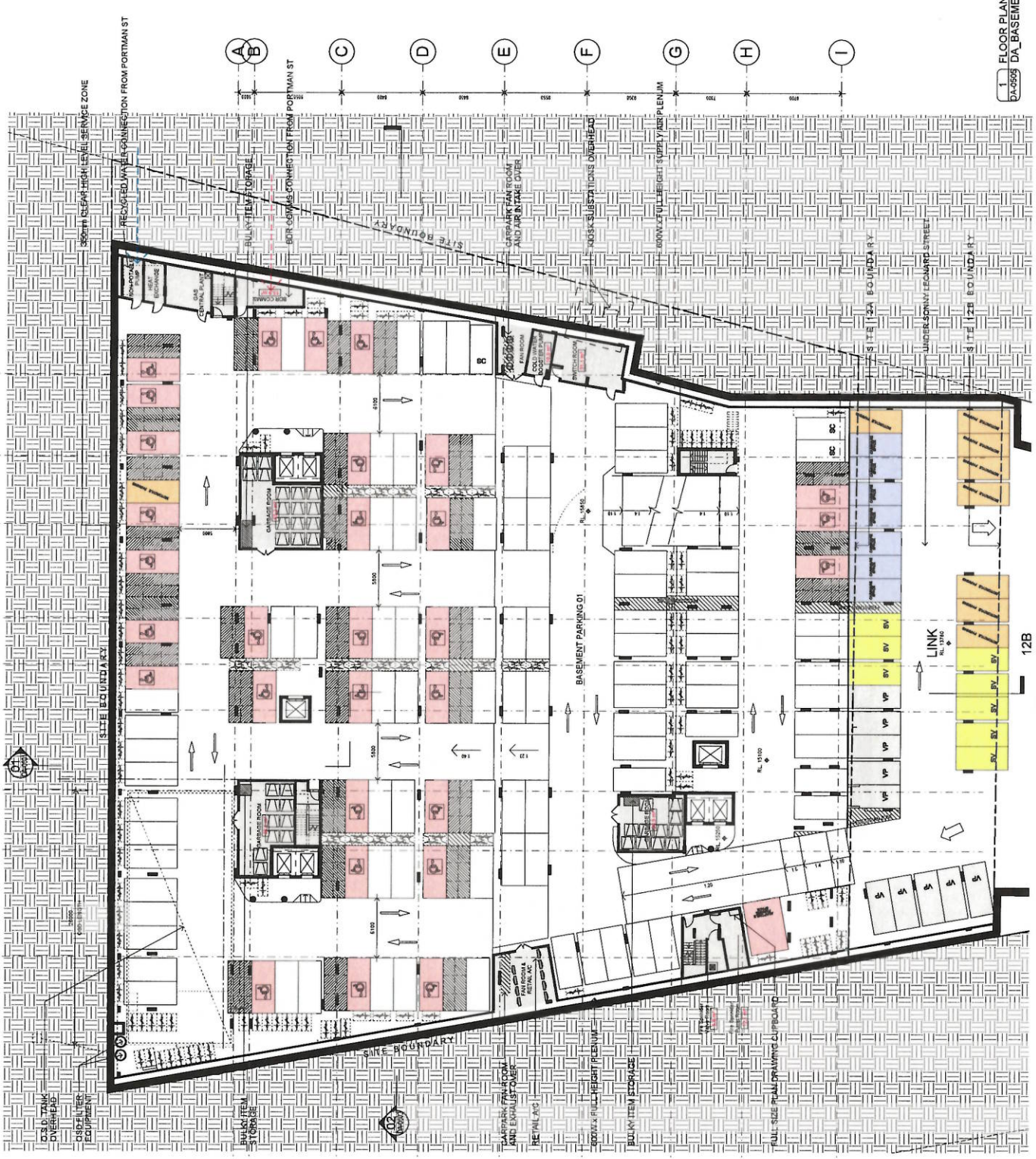
It is hereby declared that this document is a final design for the purposes of the Building Act 2016. It is intended to be used for the purposes of the Building Act 2016 and is not to be used for any other purpose. The design is based on the information provided to the designer and the designer is not responsible for the accuracy of the information provided. The design is based on the information provided to the designer and the designer is not responsible for the accuracy of the information provided.

No.	Date	Revision	By	Of
1	29/09/15	1	200	AT
2	29/09/15	1	200	AT
3	29/09/15	1	200	AT
4	29/09/15	1	200	AT
5	29/09/15	1	200	AT
6	29/09/15	1	200	AT
7	29/09/15	1	200	AT
8	29/09/15	1	200	AT
9	29/09/15	1	200	AT

Project: **SITE 12A**
105 - 115 Portman St, Green Square, NSW 2017
 for **BRIDGEHILL**

Drawings Name: **Floor Plan - BASEMENT 01**

Date: 29/09/15
 Scale: 1:200
 Drawn: CA
 Check: JP
 Project No: 5036
 Drawing No: DA-0202
 Revision: 30



T FLOOR PLAN
 DA-0202 DA BASEMENT 01

REFER TO SITE 12B FOR PARKING LAYOUT

12B

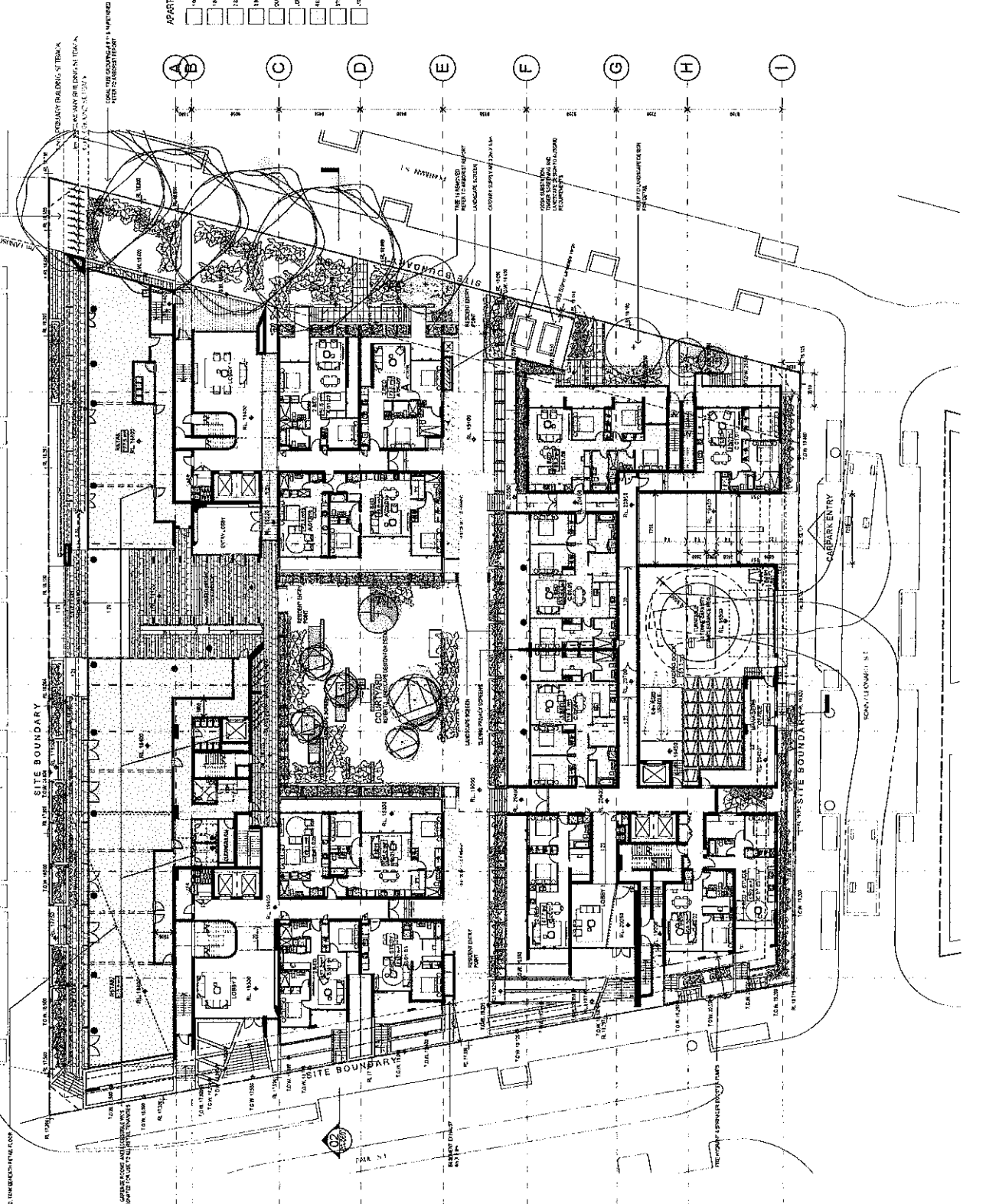
PROVISIONS FOR THE PROVISION OF SERVICES TO THE PUBLIC
 The Building and Construction Authority (BCA) is responsible for the regulation and supervision of the building industry in Singapore. The BCA is committed to ensuring that the building industry complies with the Building Act and the Building Regulations. The BCA is also responsible for the issuance of building permits and the supervision of building works. The BCA is committed to ensuring that the building industry complies with the Building Act and the Building Regulations. The BCA is also responsible for the issuance of building permits and the supervision of building works.

GARRAGE BIN STORAGE IN HOLDING AREA	
DESCRIPTION	TOTAL

BICYCLE PARKING - NON-RESIDENTIAL	
DESCRIPTION	TOTAL

APARTMENT TYPE LEGEND

1B2	1B2-1	1B2-2	1B2-3	1B2-4	1B2-5	1B2-6	1B2-7	1B2-8	1B2-9	1B2-10
-----	-------	-------	-------	-------	-------	-------	-------	-------	-------	--------



SITE 12A
 105 - 115 Portman St, Green Square, NSW 2017
 for BRIDGEHILL

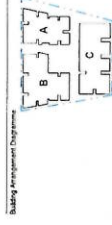
Floor Plan - LEVEL 01

Scale: 1:200
 Date: 28.09.16
 Drawn: MY
 Checked: JP
 Project: 5036 DA-0203 30



100 Liverpool Street
 Level 7, AN Centre, R
 Sydney NSW 2000
 Australia
 Tel: +61 2 9250 1111
 Fax: +61 2 9250 1112
 www.jcb.com.au

ATTACHMENT A



Project: **SITE 12A**
105 - 115 Portman St, Green
for
BRIDGEHILL

City: Green
 District: MY
Floor Plan - LEVEL
02

Date: 29.09.15
 Scale: 1:200
 Drawing No: **5036**
 Revision: **DA-0204** **30**



In accordance with the provisions of the Building Act 1993, this drawing is intended for the use of the Council for the purpose of assessing the proposed development under Part 5.1B of the Environmental Planning and Assessment Act 1979. It is not to be used for any other purpose without the consent of the Council. The Council is not responsible for any errors or omissions in this drawing. The Council is not responsible for any costs or expenses incurred by the applicant or any other person in connection with the preparation or use of this drawing. The Council is not responsible for any damage to property or any other loss or liability resulting from the use of this drawing. The Council is not responsible for any other matter that may arise in connection with the preparation or use of this drawing.

Approved Architect: **Adam Hudson 7188** John Fyfe 7034

No.	Desc	Revision	By	On
1	AS PER CONDITION'S OF CONTRACT			
2	23.07.15	30.07.15	JH	JF
3	01.08.15	01.08.15	JH	JF
4	02.08.15	02.08.15	JH	JF
5	03.08.15	03.08.15	JH	JF
6	04.08.15	04.08.15	JH	JF
7	05.08.15	05.08.15	JH	JF
8	06.08.15	06.08.15	JH	JF
9	07.08.15	07.08.15	JH	JF
10	08.08.15	08.08.15	JH	JF



Approved as shown. The Applicant must ensure that the proposed development complies with the relevant provisions of the Development Control Plan. The Applicant must also ensure that the proposed development complies with the relevant provisions of the Building Code of Australia. The Applicant must also ensure that the proposed development complies with the relevant provisions of the Environmental Planning and Assessment Act 1979. The Applicant must also ensure that the proposed development complies with the relevant provisions of the Environmental Planning and Assessment Regulation 2007. The Applicant must also ensure that the proposed development complies with the relevant provisions of the Environmental Planning and Assessment Act 1979. The Applicant must also ensure that the proposed development complies with the relevant provisions of the Environmental Planning and Assessment Regulation 2007.

REV.	DATE	DESCRIPTION	BY	CHKD.
1	20/08/15	ISSUED FOR PERMIT	...	...
2	25/08/15	REVISED PER PLAN EXCEPT	...	...

APARTMENT TYPE LEGEND

100	101	102	103	104	105	106	107
[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]



2 FLOOR PLAN DA_L07 Plan Except



SITE 12A
105 - 115 Portman St, Green Square, NSW 2017
for
BRIDGEHILL

Floor Plan - LEVEL
09-07

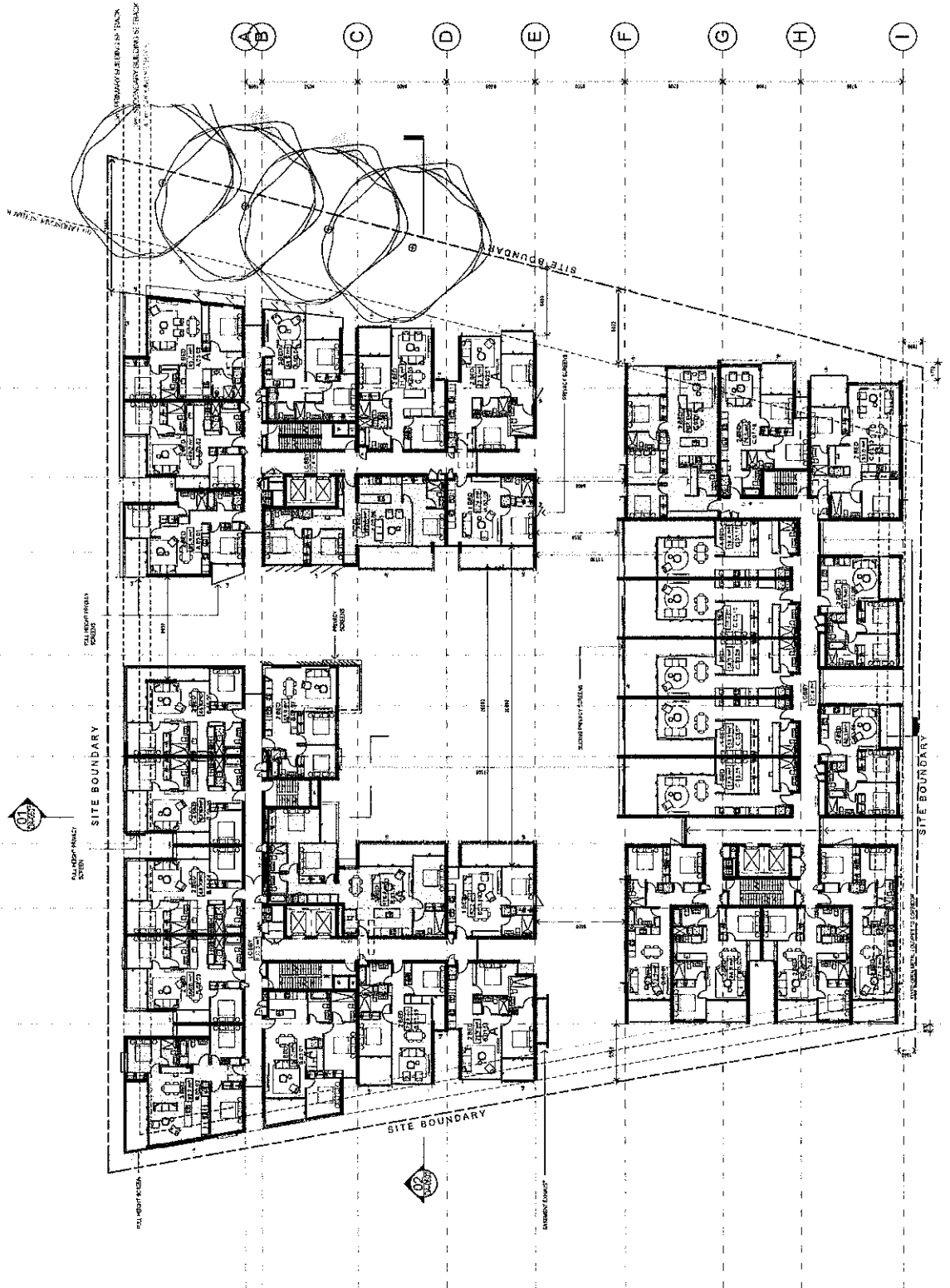


DATE	25.08.15	SCALE	1:200	SHEET NO.	30
PROJECT	DA	NO.	5036	DATE	09.07
CLIENT	...	DESIGNER	...	DATE	09.07

5036 DA-0205

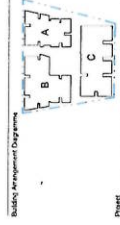


1 2 3 4 5 6 7 8 9



IMPORTANT: All drawings are the property of the Architect and are not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for any errors or omissions in this drawing. The Client is responsible for ensuring that all information provided to the Architect is accurate and complete. The Architect is not responsible for any delays or costs incurred by the Client as a result of any errors or omissions in this drawing. The Architect is not responsible for any legal or financial consequences arising from the use of this drawing. The Architect is not responsible for any damage to property or persons as a result of the use of this drawing. The Architect is not responsible for any environmental or social impacts arising from the use of this drawing. The Architect is not responsible for any cultural or heritage impacts arising from the use of this drawing. The Architect is not responsible for any other impacts arising from the use of this drawing. The Architect is not responsible for any other consequences arising from the use of this drawing. The Architect is not responsible for any other impacts arising from the use of this drawing. The Architect is not responsible for any other consequences arising from the use of this drawing.

Rev.	Date	Revision	By	CHK
1	20/09/15	ISSUE FOR PERMIT	...	...
2	21/09/15	ISSUE FOR PERMIT	...	...
3	22/09/15	ISSUE FOR PERMIT	...	...
4	23/09/15	ISSUE FOR PERMIT	...	...
5	24/09/15	ISSUE FOR PERMIT	...	...
6	25/09/15	ISSUE FOR PERMIT	...	...
7	26/09/15	ISSUE FOR PERMIT	...	...
8	27/09/15	ISSUE FOR PERMIT	...	...
9	28/09/15	ISSUE FOR PERMIT	...	...
10	29/09/15	ISSUE FOR PERMIT	...	...



Project
SITE 12A
105 - 115 Portman St, Green Square, NSW 2017
for BRIDGEHILL

Drawn By
DA MY JP

Scale
1:200 @ A1

Date
29.09.15

Reference
DA MY JP

Drawn No.
5036

Revision
DA-0206 30



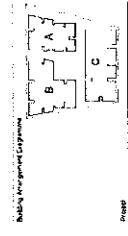
APARTMENT TYPE LEGEND

1BD	2BD + STUDY
2BD	3BD
3BD	4BD
5BD	6BD
7BD	8BD
9BD	10BD
11BD	12BD
13BD	14BD
15BD	16BD
17BD	18BD
19BD	20BD
21BD	22BD
23BD	24BD
25BD	26BD
27BD	28BD
29BD	30BD
31BD	32BD
33BD	34BD
35BD	36BD
37BD	38BD
39BD	40BD
41BD	42BD
43BD	44BD
45BD	46BD
47BD	48BD
49BD	50BD
51BD	52BD
53BD	54BD
55BD	56BD
57BD	58BD
59BD	60BD
61BD	62BD
63BD	64BD
65BD	66BD
67BD	68BD
69BD	70BD
71BD	72BD
73BD	74BD
75BD	76BD
77BD	78BD
79BD	80BD
81BD	82BD
83BD	84BD
85BD	86BD
87BD	88BD
89BD	90BD
91BD	92BD
93BD	94BD
95BD	96BD
97BD	98BD
99BD	100BD



THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

REV.	DATE	REVISION	BY	CHK.
1	28.08.15	ISSUED FOR PERMIT	...	...
2
3
4
5
6
7
8
9



SITE 12A
 105 - 115 Portman St. Green Square, NSW 2017
 for
BRIDGEHILL

Owner: **Bridge Hill**
 Floor Plan - LEVEL 09



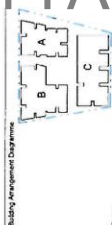
DATE	28.08.15	SCALE	1:200	SHEET NO.	@ A1
PROJECT	DA	DATE	NY	JOB	JIP
JOB NO.	5036	DATE	DA-0207	SHEET	30



APARTMENT TYPE LEGEND

1 BED	2 BED - STUDY
2 BED	3 BED
3 BED	4 BED
4 BED	5 BED
5 BED	6 BED
7 BED	8 BED
9 BED	10 BED





SITE 12A
105 - 115 Portman St, Green Square, NSW 2017
for BRIDGEHILL

Drawn Name: Floor Plan - LEVEL 10

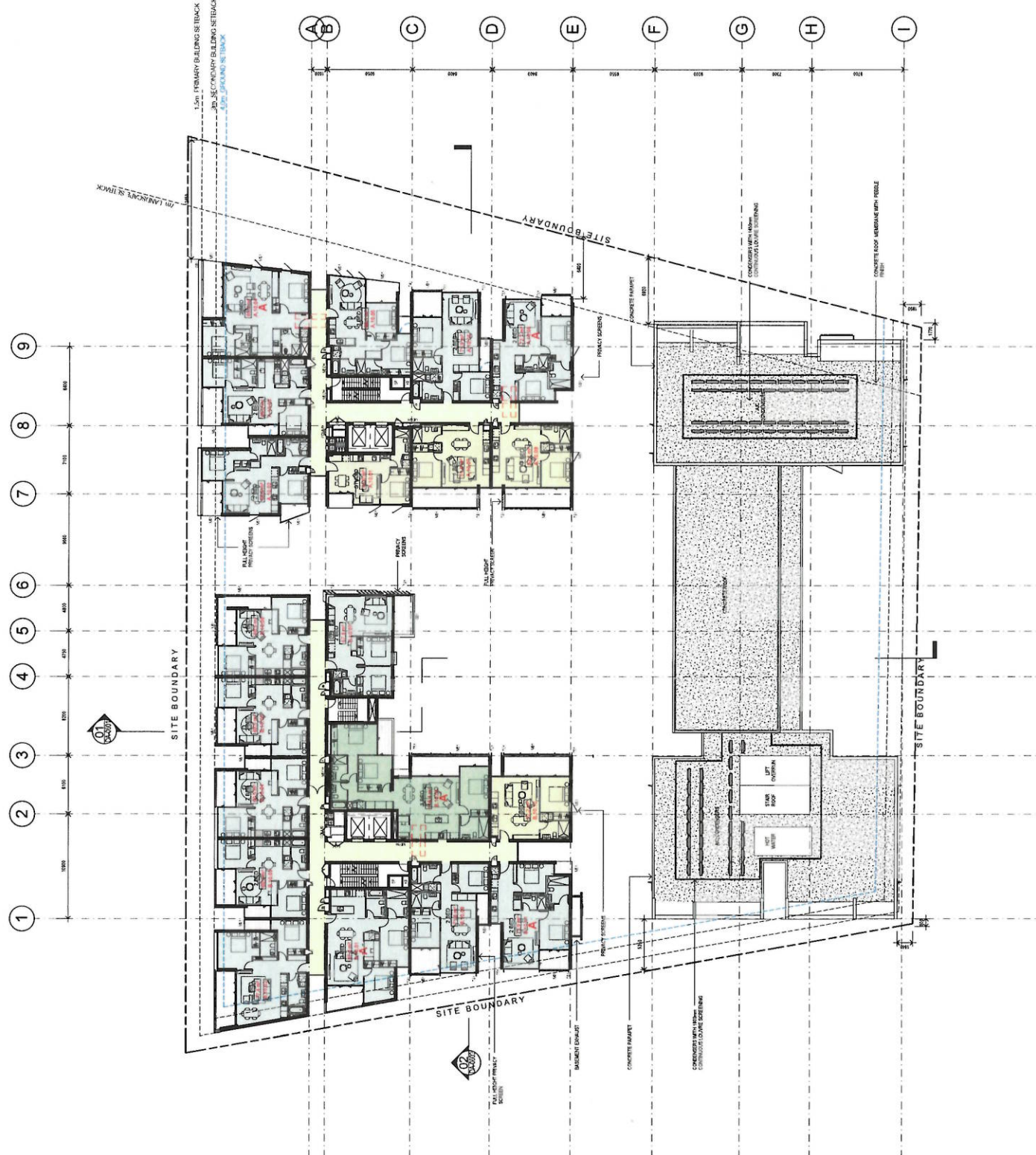
Date: 29.08.15
Scale: 1:200 @ A1
Drawn: DA MY JP
Drawing No.: 5036 DA-0208 30

As per the relevant Australian Standards for Apartment Buildings, this floor plan is intended to be used in conjunction with the relevant Building Code of Australia (BCA) provisions. It is not intended to be a final floor plan and is not to be used as such. It is intended to be used as a guide only. The design is subject to change without notice. The design is not to be used for any other purpose without the prior written consent of SJB Architects. The design is not to be used for any other purpose without the prior written consent of SJB Architects. The design is not to be used for any other purpose without the prior written consent of SJB Architects.

Rev.	Date	Description	By	Chk.
1	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
2	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
3	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
4	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
5	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
6	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
7	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
8	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
9	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY
10	29/08/15	ISSUE FOR CONSTRUCTION	DA	MY

APARTMENT TYPE LEGEND

1BD	1BD+STY
1BD	1BD
1BD	1BD
1BD	1BD
1BD	1BD
1BD	1BD
1BD	1BD
1BD	1BD
1BD	1BD





10/15/2017
 10/15/2017
 10/15/2017
 10/15/2017

Approved by Council on 28/09/15. The Council has resolved to grant a Development Consent Authority (DCA) for the development of the site in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007. The Council has also resolved to grant a DCA for the development of the site in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007. The Council has also resolved to grant a DCA for the development of the site in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007. The Council has also resolved to grant a DCA for the development of the site in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007.

REF.	DATE	REVISION	BY	CHK.
1				
2				
3				
4				
5				
6				
7				
8				
9				



SITE 12A
 105 - 115 Portman St. Green
 Square, NSW 2017
 for
BRIDGEHILL

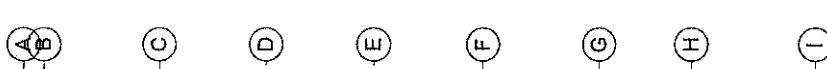
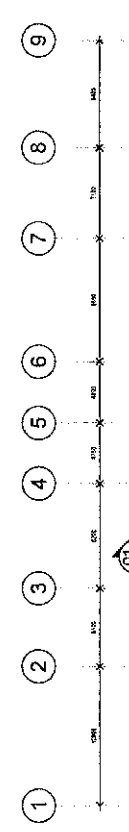
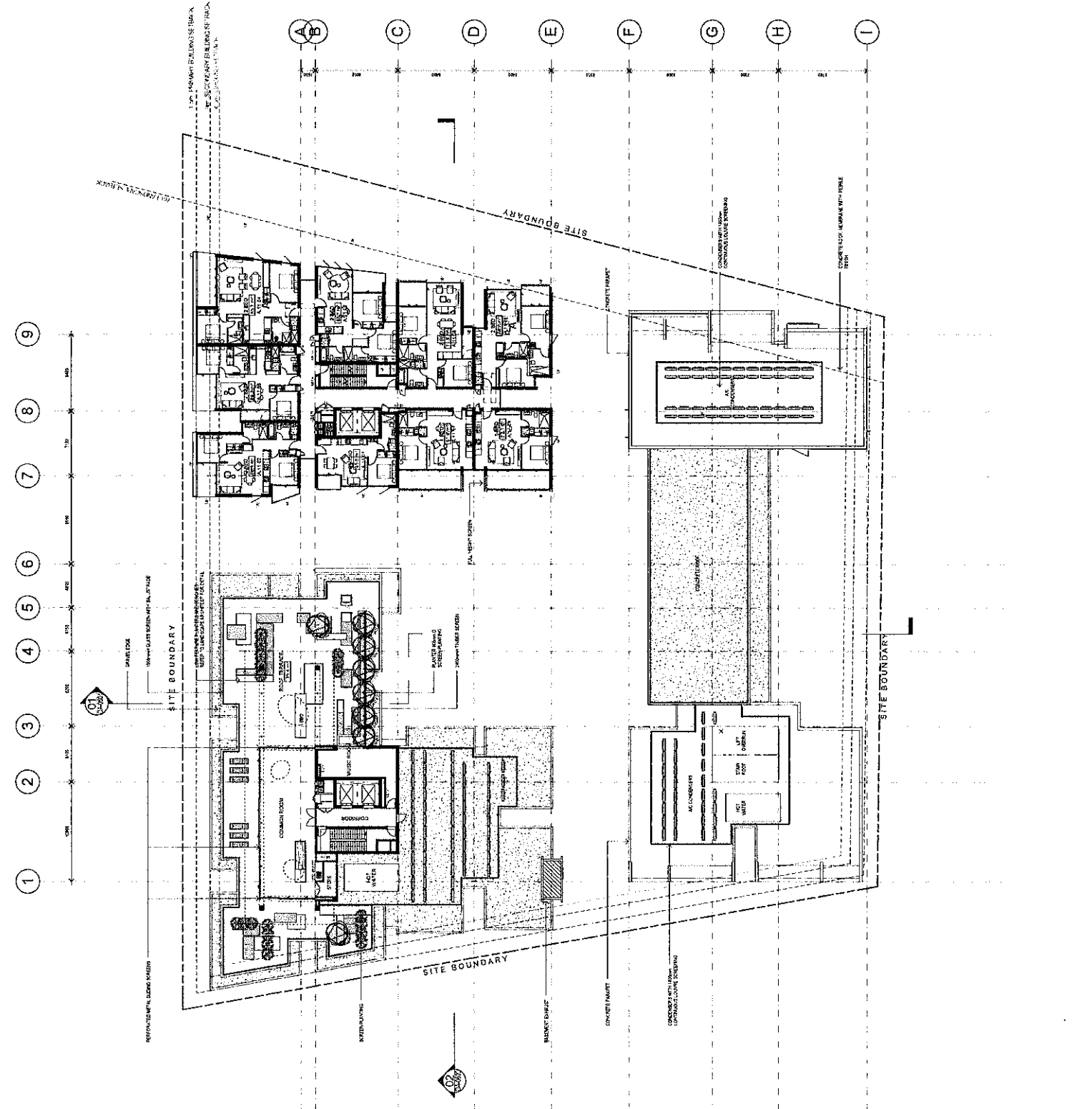
Drawn Date: Floor Plan - LEVEL 11-15



Scale	1:200	Sheet No.	of 1
Drawn	DA	Checked	JP
Date	28/09/15	Project No.	5036
Client	DA	Drawn By	DA-0209
Project	NY	Checked By	30

APARTMENT TYPE LEGEND

1 BED	2 BED	3 BED	4 BED	5 BED	6 BED	7 BED	8 BED	9 BED	10 BED	11 BED	12 BED	13 BED	14 BED	15 BED
-------	-------	-------	-------	-------	-------	-------	-------	-------	--------	--------	--------	--------	--------	--------



It is certified that the drawings were prepared by the Engineer or Architect, or by a person acting under their direct supervision and control, and that they are true and correct copies of the drawings as approved by the Council of the City of Sydney.

Approved by: *[Signature]*
 Date: 29/09/15

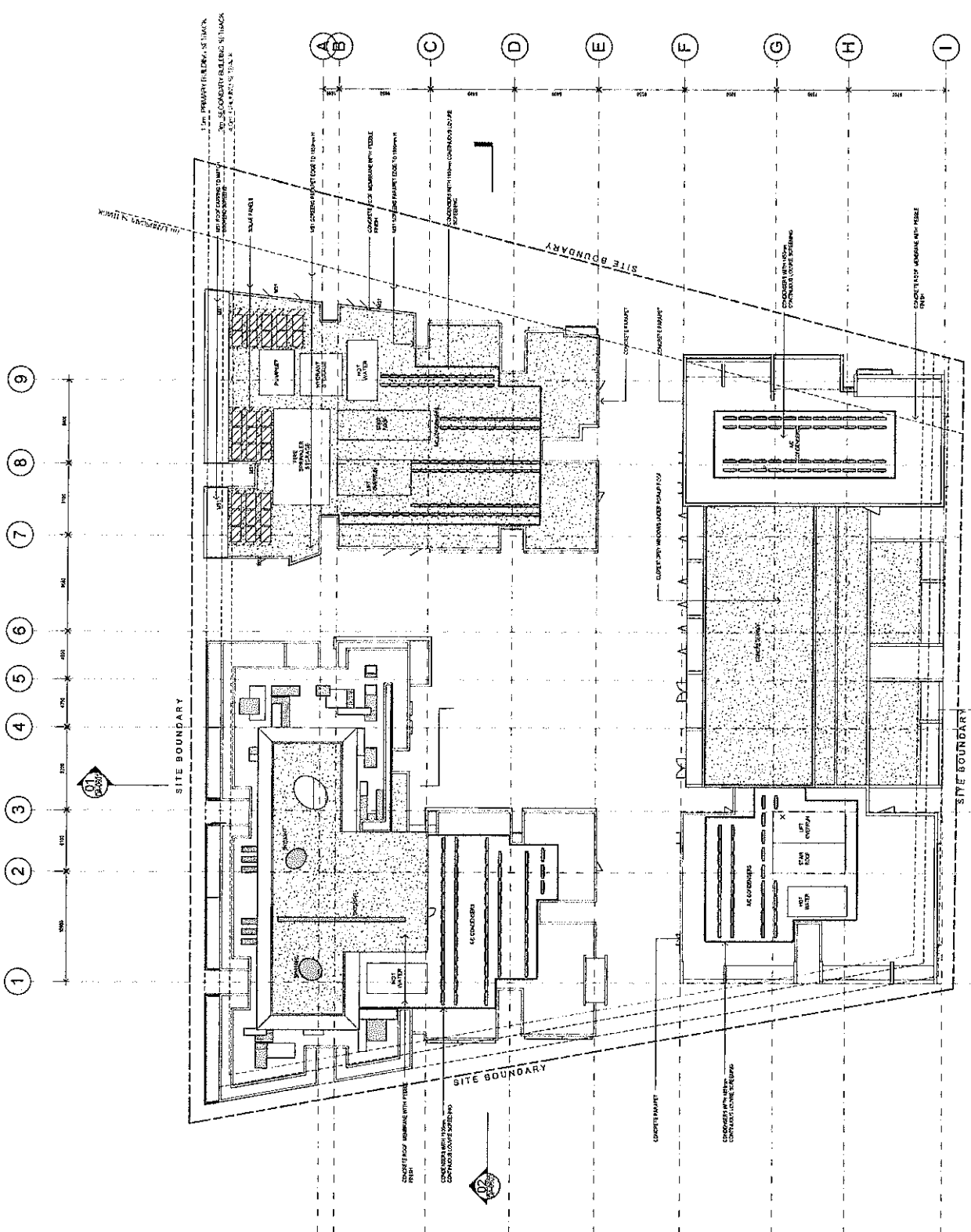
No.	Date	Revised	By
1	29/09/15	Issue for Tender	DA
2	02/10/15	Issue for Construction	DA
3	02/10/15	Issue for Construction	DA
4	02/10/15	Issue for Construction	DA
5	02/10/15	Issue for Construction	DA
6	02/10/15	Issue for Construction	DA
7	02/10/15	Issue for Construction	DA
8	02/10/15	Issue for Construction	DA
9	02/10/15	Issue for Construction	DA



Project Name: SITE 12A
 105 - 115 Portman St, Green Square, NSW 2017
 for BRIDGEHILL

Drawing Name: Floor Plan - ROOF
 Scale: 1:200
 Date: 29/09/15

Scale	1:200
Date	29/09/15
Author	DA
Checker	JP
Drawn By	DA
Drawn No.	5036
Project No.	DA-0210
Sheet No.	30



In accordance with the Building Act 2006, the Architect is required to prepare a Building Information Modelling (BIM) model for the building. The BIM model shall be used to coordinate the design and construction of the building. The BIM model shall be updated throughout the design and construction process. The BIM model shall be used to generate construction documents, including drawings, schedules, and bills of materials. The BIM model shall be used to manage the building's lifecycle, including operation, maintenance, and renovation. The BIM model shall be used to communicate the building's design and construction information to all stakeholders. The BIM model shall be used to improve the building's performance, including energy efficiency, sustainability, and occupant comfort. The BIM model shall be used to reduce the building's risk, including safety, quality, and cost. The BIM model shall be used to increase the building's transparency, including accountability, collaboration, and communication. The BIM model shall be used to enhance the building's value, including productivity, innovation, and competitiveness. The BIM model shall be used to support the building's goals, including sustainability, social responsibility, and corporate citizenship. The BIM model shall be used to create a better building, for a better world.

Rev.	Date	Revised	By	CHK
1	2024/11/15	ISSUE FOR TENDER	AM	AM
2	2024/11/15	ISSUE FOR TENDER	AM	AM
3	2024/11/15	ISSUE FOR TENDER	AM	AM
4	2024/11/15	ISSUE FOR TENDER	AM	AM
5	2024/11/15	ISSUE FOR TENDER	AM	AM
6	2024/11/15	ISSUE FOR TENDER	AM	AM
7	2024/11/15	ISSUE FOR TENDER	AM	AM
8	2024/11/15	ISSUE FOR TENDER	AM	AM
9	2024/11/15	ISSUE FOR TENDER	AM	AM
10	2024/11/15	ISSUE FOR TENDER	AM	AM

EXTERNAL FINISHES

WALLS

W1 - Face Brick
 W2 - Painted Brickwork (Type 1)
 W3 - Painted Brickwork (Type 2)
 W4 - Painted Brickwork (Type 3)
 W5 - Painted Brickwork (Type 4)
 W6 - Painted Brickwork (Type 5)
 W7 - Painted Brickwork (Type 6)
 W8 - Painted Brickwork (Type 7)
 W9 - Painted Brickwork (Type 8)
 W10 - Painted Brickwork (Type 9)
 W11 - Painted Brickwork (Type 10)

GLAZING

G1 - Clear Glass
 G2 - Low Emission Glass
 G3 - Tinted Glass
 G4 - Laminated Glass
 G5 - Insulated Glass Unit (IGU)
 G6 - Double Glazed IGU
 G7 - Triple Glazed IGU
 G8 - Acoustic Glass
 G9 - Safety Glass
 G10 - Fire Rated Glass

ROOF

R1 - Concrete Slab
 R2 - Concrete Slab with Insulation
 R3 - Concrete Slab with Insulation and Waterproofing
 R4 - Concrete Slab with Insulation and Waterproofing and Parapet
 R5 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails
 R6 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade
 R7 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing
 R8 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters
 R9 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters and Fencing
 R10 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters and Fencing and Landscaping

LANDSCAPING

L1 - Grass
 L2 - Lawn
 L3 - Turf
 L4 - Sod
 L5 - Seed
 L6 - Mulch
 L7 - Compost
 L8 - Fertiliser
 L9 - Irrigation
 L10 - Drainage
 L11 - Retaining Wall
 L12 - Gabion
 L13 - Stone
 L14 - Brick
 L15 - Concrete
 L16 - Timber
 L17 - Metal
 L18 - Glass
 L19 - Plastic
 L20 - Fabric

INTERIORS

I1 - Paint
 I2 - Wallpaper
 I3 - Tiles
 I4 - Carpet
 I5 - Hardwood
 I6 - Laminate
 I7 - Glass
 I8 - Metal
 I9 - Fabric
 I10 - Stone
 I11 - Concrete
 I12 - Brick
 I13 - Brickwork
 I14 - Brickwork with Glazing
 I15 - Brickwork with Glazing and Planters
 I16 - Brickwork with Glazing and Planters and Fencing
 I17 - Brickwork with Glazing and Planters and Fencing and Landscaping
 I18 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade
 I19 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade and Glazing
 I20 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade and Glazing and Planters

EXTERNAL FINISHES

WALLS

W1 - Face Brick
 W2 - Painted Brickwork (Type 1)
 W3 - Painted Brickwork (Type 2)
 W4 - Painted Brickwork (Type 3)
 W5 - Painted Brickwork (Type 4)
 W6 - Painted Brickwork (Type 5)
 W7 - Painted Brickwork (Type 6)
 W8 - Painted Brickwork (Type 7)
 W9 - Painted Brickwork (Type 8)
 W10 - Painted Brickwork (Type 9)
 W11 - Painted Brickwork (Type 10)

GLAZING

G1 - Clear Glass
 G2 - Low Emission Glass
 G3 - Tinted Glass
 G4 - Laminated Glass
 G5 - Insulated Glass Unit (IGU)
 G6 - Double Glazed IGU
 G7 - Triple Glazed IGU
 G8 - Acoustic Glass
 G9 - Safety Glass
 G10 - Fire Rated Glass

ROOF

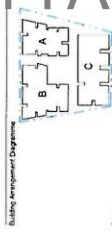
R1 - Concrete Slab
 R2 - Concrete Slab with Insulation
 R3 - Concrete Slab with Insulation and Waterproofing
 R4 - Concrete Slab with Insulation and Waterproofing and Parapet
 R5 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails
 R6 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade
 R7 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing
 R8 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters
 R9 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters and Fencing
 R10 - Concrete Slab with Insulation and Waterproofing and Parapet and Handrails and Balustrade and Glazing and Planters and Fencing and Landscaping

LANDSCAPING

L1 - Grass
 L2 - Lawn
 L3 - Turf
 L4 - Sod
 L5 - Seed
 L6 - Mulch
 L7 - Compost
 L8 - Fertiliser
 L9 - Irrigation
 L10 - Drainage
 L11 - Retaining Wall
 L12 - Gabion
 L13 - Stone
 L14 - Brick
 L15 - Concrete
 L16 - Timber
 L17 - Metal
 L18 - Glass
 L19 - Plastic
 L20 - Fabric

INTERIORS

I1 - Paint
 I2 - Wallpaper
 I3 - Tiles
 I4 - Carpet
 I5 - Hardwood
 I6 - Laminate
 I7 - Glass
 I8 - Metal
 I9 - Fabric
 I10 - Stone
 I11 - Concrete
 I12 - Brick
 I13 - Brickwork
 I14 - Brickwork with Glazing
 I15 - Brickwork with Glazing and Planters
 I16 - Brickwork with Glazing and Planters and Fencing
 I17 - Brickwork with Glazing and Planters and Fencing and Landscaping
 I18 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade
 I19 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade and Glazing
 I20 - Brickwork with Glazing and Planters and Fencing and Landscaping and Balustrade and Glazing and Planters

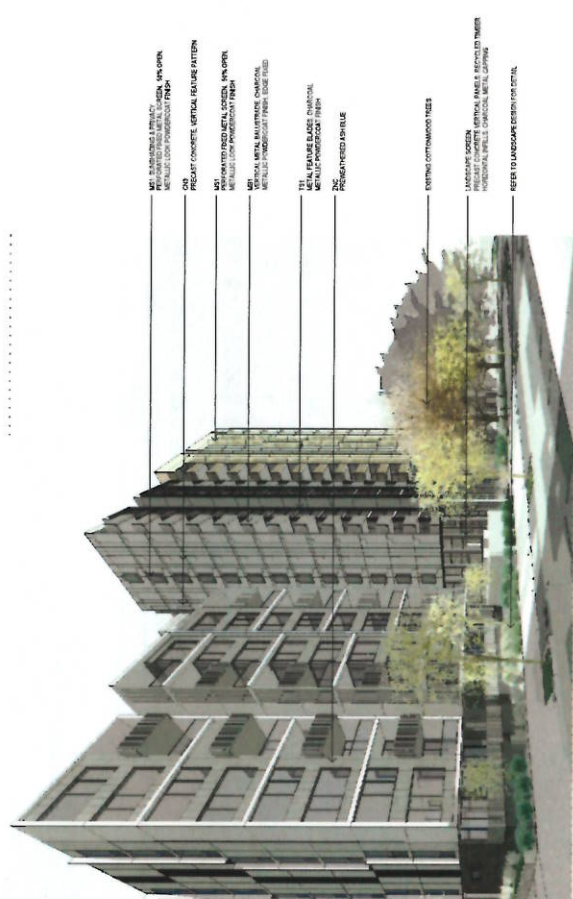


Client: SITE 12A
 105 - 115 Portman St, Green Square, NSW 2017
 for BRIDGEHILL

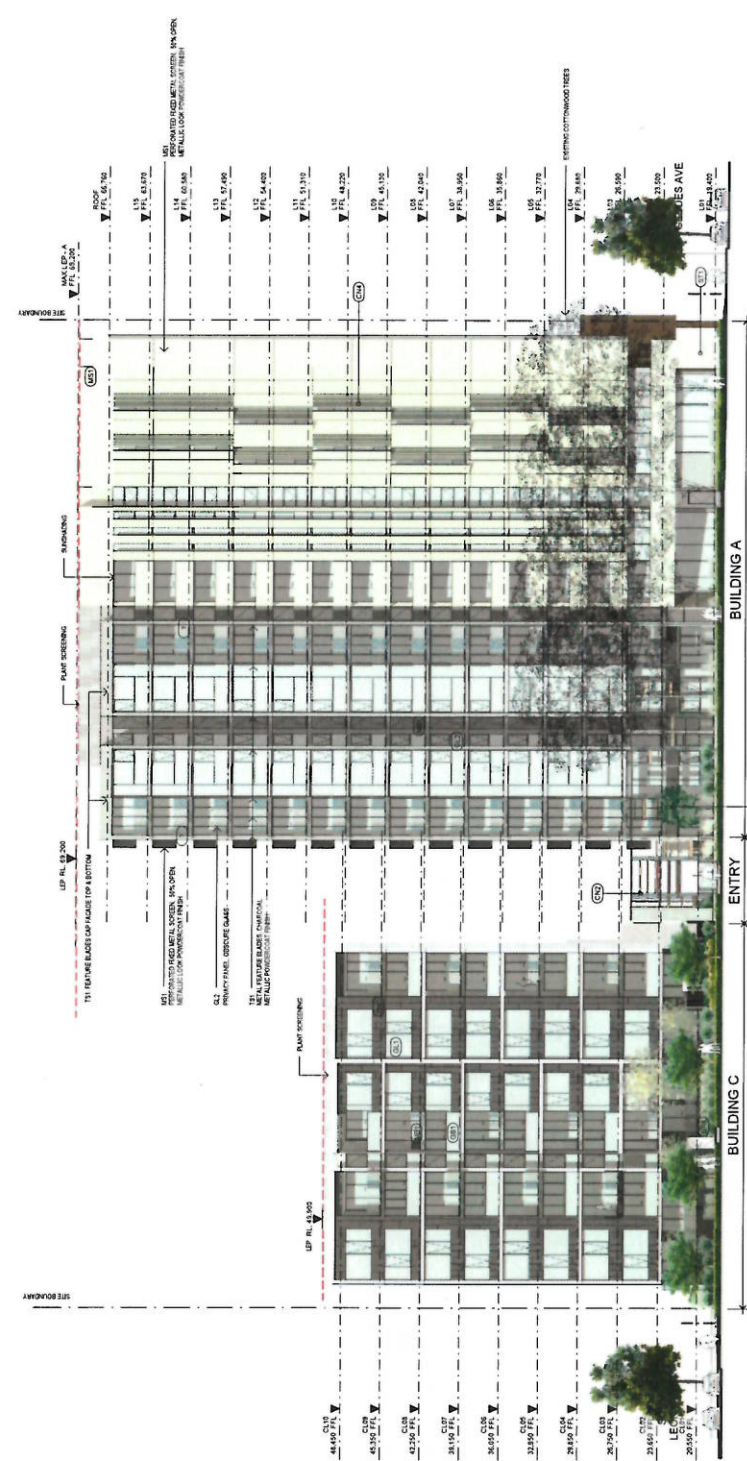
Drawings Name: East Elevation - Portman Street

Date	29.09.15	Scale	As Indicated	Sheet Size	@ A1
Reference	DA	Drawn By	EK	Checked By	JP
Drawn No.	5036	Drawn Title	DA-0502	Revision	30

303 Architects
 Level 4, 400 Church St
 2010 Sydney NSW
 P: 61 2 9396 9321
 www.303.com.au



BUILDING B
 VIEW FROM GEDDES AVENUE AND PAUL STREET CORNER



01 ELEVATION
 East Elevation - Portman St

It is accepted and agreed that this document is prepared for the purpose of providing a visual representation of the proposed design for the building. It is not intended to be used for any other purpose. The design is subject to change without notice. The design is not to be used for any other purpose. The design is not to be used for any other purpose. The design is not to be used for any other purpose.

Ref.	Date	Revised/By	By
01	28.09.15	AS INDICATED	JP
02	28.09.15	AS INDICATED	JP
03	28.09.15	AS INDICATED	JP
04	28.09.15	AS INDICATED	JP
05	28.09.15	AS INDICATED	JP
06	28.09.15	AS INDICATED	JP
07	28.09.15	AS INDICATED	JP
08	28.09.15	AS INDICATED	JP
09	28.09.15	AS INDICATED	JP
10	28.09.15	AS INDICATED	JP
11	28.09.15	AS INDICATED	JP
12	28.09.15	AS INDICATED	JP
13	28.09.15	AS INDICATED	JP
14	28.09.15	AS INDICATED	JP
15	28.09.15	AS INDICATED	JP
16	28.09.15	AS INDICATED	JP
17	28.09.15	AS INDICATED	JP
18	28.09.15	AS INDICATED	JP
19	28.09.15	AS INDICATED	JP
20	28.09.15	AS INDICATED	JP
21	28.09.15	AS INDICATED	JP
22	28.09.15	AS INDICATED	JP
23	28.09.15	AS INDICATED	JP
24	28.09.15	AS INDICATED	JP
25	28.09.15	AS INDICATED	JP
26	28.09.15	AS INDICATED	JP
27	28.09.15	AS INDICATED	JP
28	28.09.15	AS INDICATED	JP
29	28.09.15	AS INDICATED	JP
30	28.09.15	AS INDICATED	JP

EXTERNAL FINISHES

WALLS

001 Plain Brick (see schedule 1)
 002 Painted Brick (see schedule 1)
 003 Masonry (see schedule 1)
 004 Painted Masonry (see schedule 1)
 005 Painted Masonry (see schedule 1)
 006 Painted Masonry (see schedule 1)
 007 Painted Masonry (see schedule 1)
 008 Painted Masonry (see schedule 1)
 009 Painted Masonry (see schedule 1)
 010 Painted Masonry (see schedule 1)

SKYLINE

011 Plain Brick
 012 Painted Brick
 013 Masonry
 014 Painted Masonry
 015 Painted Masonry
 016 Painted Masonry
 017 Painted Masonry
 018 Painted Masonry
 019 Painted Masonry
 020 Painted Masonry

SCREENING

021 Plain Brick
 022 Painted Brick
 023 Masonry
 024 Painted Masonry
 025 Painted Masonry
 026 Painted Masonry
 027 Painted Masonry
 028 Painted Masonry
 029 Painted Masonry
 030 Painted Masonry

GLAZING

031 Clear Glass
 032 Clear Glass
 033 Clear Glass
 034 Clear Glass
 035 Clear Glass
 036 Clear Glass
 037 Clear Glass
 038 Clear Glass
 039 Clear Glass
 040 Clear Glass

FLOORING

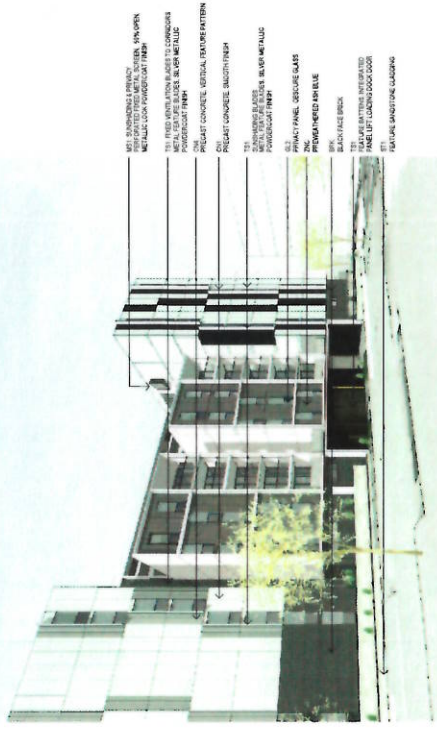
041 Plain Brick
 042 Painted Brick
 043 Masonry
 044 Painted Masonry
 045 Painted Masonry
 046 Painted Masonry
 047 Painted Masonry
 048 Painted Masonry
 049 Painted Masonry
 050 Painted Masonry



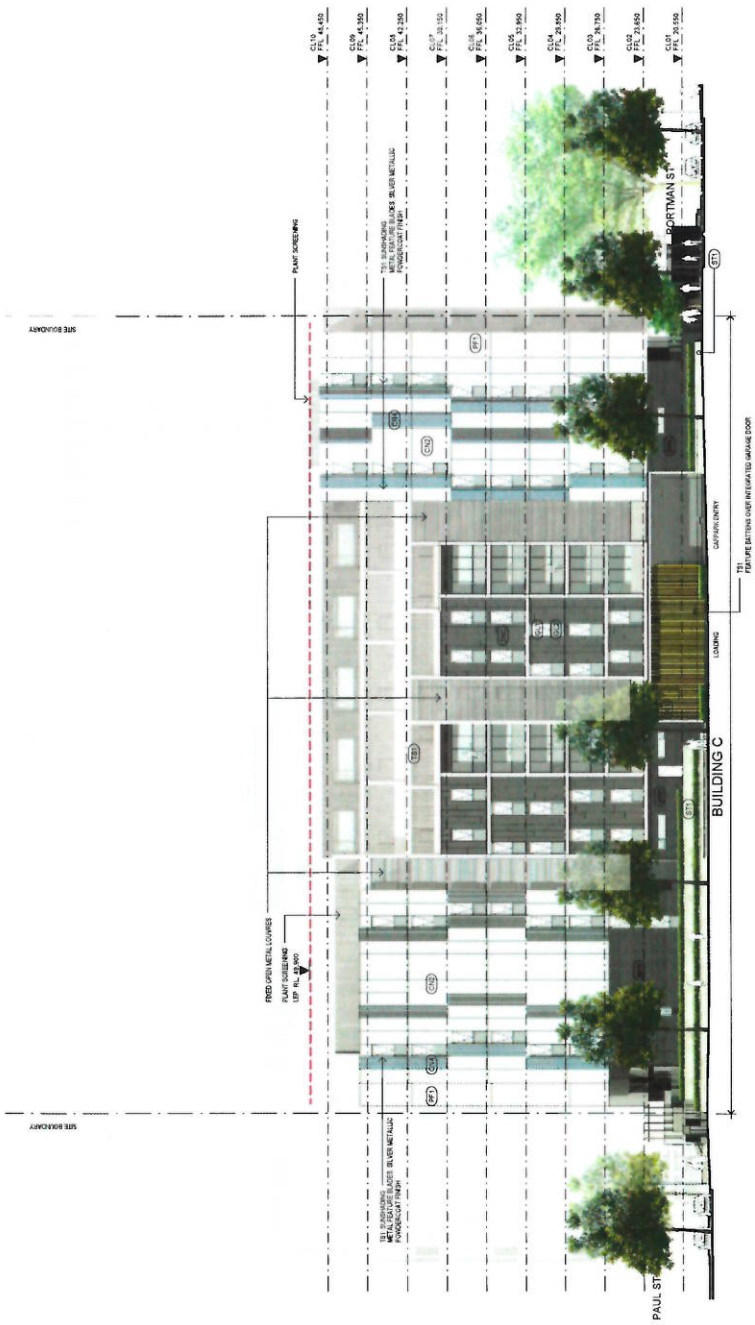
Project
 SITE 12A
 105 - 115 Portman St, Green Square, NSW 2017
 for
BRIDGEHILL

Drawing Name
 South Elevation -
 Sonny Leonard St

REF	DATE	BY	CHKD BY
01	28.09.15	AS INDICATED	JP
02	28.09.15	AS INDICATED	JP
03	28.09.15	AS INDICATED	JP
04	28.09.15	AS INDICATED	JP
05	28.09.15	AS INDICATED	JP
06	28.09.15	AS INDICATED </td <td>JP</td>	JP
07	28.09.15	AS INDICATED	JP
08	28.09.15	AS INDICATED	JP
09	28.09.15	AS INDICATED	JP
10	28.09.15	AS INDICATED	JP
11	28.09.15	AS INDICATED	JP
12	28.09.15	AS INDICATED	JP
13	28.09.15	AS INDICATED	JP
14	28.09.15	AS INDICATED	JP
15	28.09.15	AS INDICATED	JP
16	28.09.15	AS INDICATED	JP
17	28.09.15	AS INDICATED	JP
18	28.09.15	AS INDICATED	JP
19	28.09.15	AS INDICATED	JP
20	28.09.15	AS INDICATED	JP
21	28.09.15	AS INDICATED	JP
22	28.09.15	AS INDICATED	JP
23	28.09.15	AS INDICATED	JP
24	28.09.15	AS INDICATED	JP
25	28.09.15	AS INDICATED	JP
26	28.09.15	AS INDICATED	JP
27	28.09.15	AS INDICATED	JP
28	28.09.15	AS INDICATED	JP
29	28.09.15	AS INDICATED	JP
30	28.09.15	AS INDICATED	JP



BUILDING C
 VIEW FROM SONNY LEONARD STREET



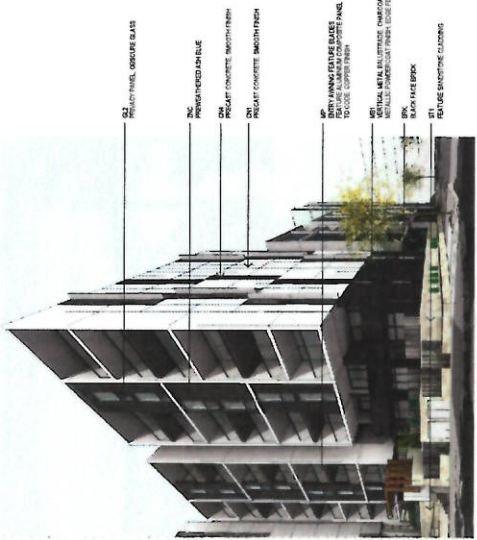
01 ELEVATION
 South Elevation - Sonny Leonard St

It is acknowledged that the information provided in this document is for general information only and does not constitute a contract. The client is responsible for ensuring that the information provided is accurate and complete. The architect is not responsible for any errors or omissions in the information provided. The architect is not responsible for any damage or loss resulting from the use of the information provided. The architect is not responsible for any legal action taken against the architect or any other party involved in the project.

No.	Code	Description	Material	By	Date
1	01	CONCRETE	CONCRETE	DA	29.09.15
2	02	GLASS	GLASS	DA	29.09.15
3	03	STEEL	STEEL	DA	29.09.15
4	04	WOOD	WOOD	DA	29.09.15
5	05	PAINT	PAINT	DA	29.09.15
6	06	ROOFING	ROOFING	DA	29.09.15
7	07	MECHANICAL	MECHANICAL	DA	29.09.15
8	08	ELECTRICAL	ELECTRICAL	DA	29.09.15
9	09	PLUMBING	PLUMBING	DA	29.09.15
10	10	CLIMATE CONTROL	CLIMATE CONTROL	DA	29.09.15
11	11	LANDSCAPE	LANDSCAPE	DA	29.09.15
12	12	INTERIORS	INTERIORS	DA	29.09.15
13	13	EXTERIORS	EXTERIORS	DA	29.09.15
14	14	MECHANICAL	MECHANICAL	DA	29.09.15
15	15	ELECTRICAL	ELECTRICAL	DA	29.09.15
16	16	PLUMBING	PLUMBING	DA	29.09.15
17	17	CLIMATE CONTROL	CLIMATE CONTROL	DA	29.09.15
18	18	LANDSCAPE	LANDSCAPE	DA	29.09.15
19	19	INTERIORS	INTERIORS	DA	29.09.15
20	20	EXTERIORS	EXTERIORS	DA	29.09.15

EXTERNAL FINISHES

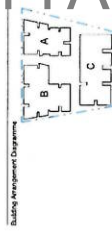
Code	Description	Material
01	CONCRETE	CONCRETE
02	GLASS	GLASS
03	STEEL	STEEL
04	WOOD	WOOD
05	PAINT	PAINT
06	ROOFING	ROOFING
07	MECHANICAL	MECHANICAL
08	ELECTRICAL	ELECTRICAL
09	PLUMBING	PLUMBING
10	CLIMATE CONTROL	CLIMATE CONTROL
11	LANDSCAPE	LANDSCAPE
12	INTERIORS	INTERIORS
13	EXTERIORS	EXTERIORS
14	MECHANICAL	MECHANICAL
15	ELECTRICAL	ELECTRICAL
16	PLUMBING	PLUMBING
17	CLIMATE CONTROL	CLIMATE CONTROL
18	LANDSCAPE	LANDSCAPE
19	INTERIORS	INTERIORS
20	EXTERIORS	EXTERIORS



BUILDING C
VIEW FROM CORNER OF PAUL & SONNY LEONARD STREET



01 ELEVATION
West Elevation - Paul Street



SITE 12A
105 - 115 Portman St, Green Square, NSW 2017
for BRIDGEHILL

Date	Scale	Sheet Size
29.09.15	As indicated	@ A1
Reference	Drawn	Chk.
DA	EK	JP
Job No.	Drawing No.	Revision
5036	DA-0504	30

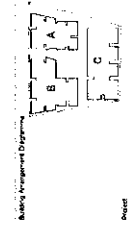


Architectural drawings are prepared by the architect and are subject to change without notice. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project.

Rev.	Date	Description	By	Chk.
1	28.09.15	Issue for tender	DA	EK
2	28.09.15	As indicated	DA	EK
3	28.09.15	As indicated	DA	EK
4	28.09.15	As indicated	DA	EK
5	28.09.15	As indicated	DA	EK
6	28.09.15	As indicated	DA	EK

EXTERNAL FINISHES

Code	Material	Notes
EF1	White Portland Cement Mortar	Apply to brickwork
EF2	White Portland Cement Mortar	Apply to brickwork
EF3	White Portland Cement Mortar	Apply to brickwork
EF4	White Portland Cement Mortar	Apply to brickwork
EF5	White Portland Cement Mortar	Apply to brickwork
EF6	White Portland Cement Mortar	Apply to brickwork
EF7	White Portland Cement Mortar	Apply to brickwork
EF8	White Portland Cement Mortar	Apply to brickwork
EF9	White Portland Cement Mortar	Apply to brickwork
EF10	White Portland Cement Mortar	Apply to brickwork



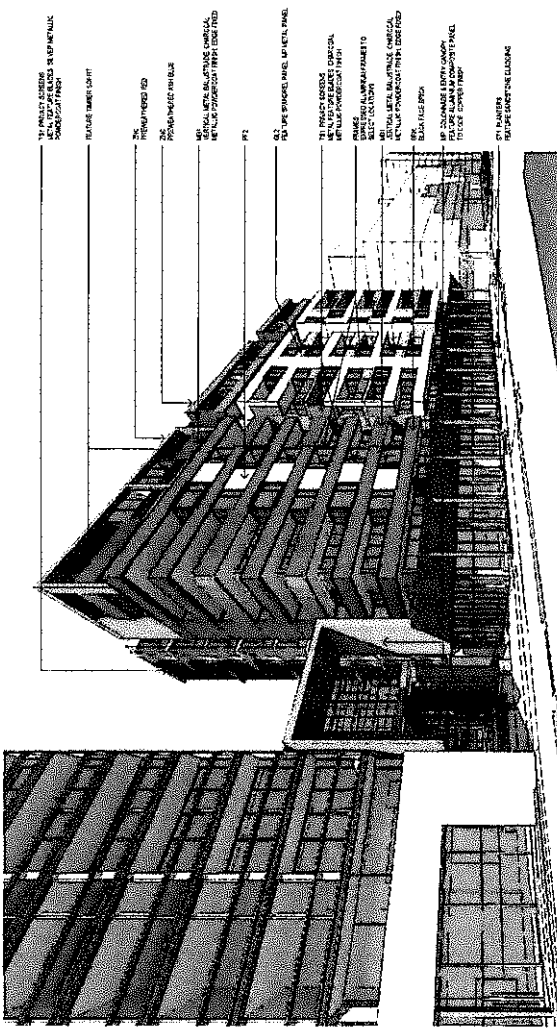
SITE 12A
105 - 115 Portman St. Green
Square, NSW 2017
for
BRIDGEHILL

Internal Elevations
 Sheet 1

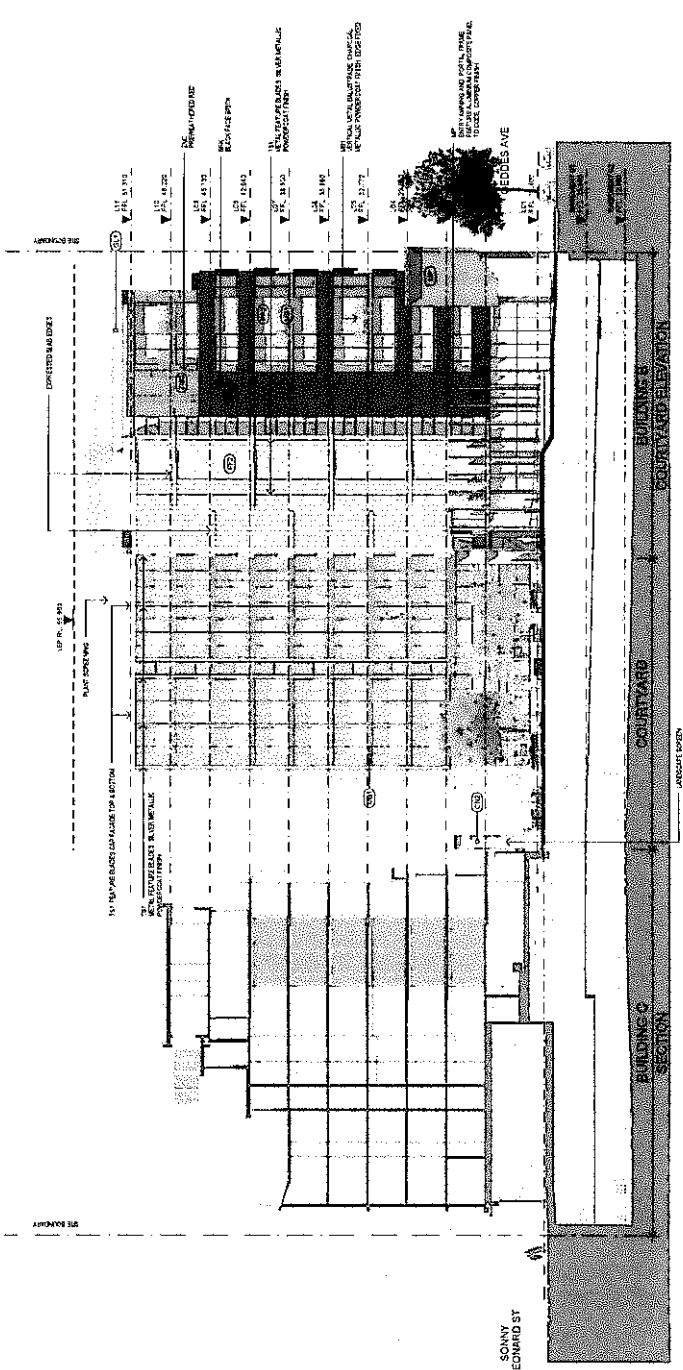
Date	28.09.15	Scale	As indicated	Sheet No.	@ A1
Author	DA	Drawn	EK	Project	5036 DA-0505 30



S&B Architects
 5/55 York Street
 Sydney, NSW 2000
 Australia
 Tel: 61 2 9395 8111
 Fax: 61 2 9395 8122
 www.sandb.com.au



BUILDING B
VIEW FROM GEDDES AVENUE



01 ELEVATION
Sectional Elevation 2

It is hereby declared that the information provided in this document is true and correct to the best of the knowledge and belief of the signatories and is not misleading or deceptive. The signatories accept that they are liable for the accuracy of the information provided in this document and that they are not liable for any loss or damage caused by the use of the information provided in this document. The signatories also accept that they are not liable for any loss or damage caused by the use of the information provided in this document. The signatories also accept that they are not liable for any loss or damage caused by the use of the information provided in this document.

Rev.	Desc.	Revision	By	On
1	ISSUE FOR PERMIT			
2	ISSUE FOR PERMIT			
3	ISSUE FOR PERMIT			
4	ISSUE FOR PERMIT			
5	ISSUE FOR PERMIT			
6	ISSUE FOR PERMIT			
7	ISSUE FOR PERMIT			
8	ISSUE FOR PERMIT			
9	ISSUE FOR PERMIT			
10	ISSUE FOR PERMIT			

EXTERNAL FINISHES

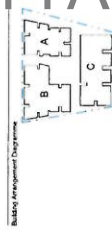
Code	Material	Image
01	Vertical Metal Balustrade	[Image]
02	Feature Trim	[Image]
03	Precast Concrete	[Image]
04	Vertical Slat	[Image]
05	Vertical Slat	[Image]
06	Vertical Slat	[Image]
07	Vertical Slat	[Image]
08	Vertical Slat	[Image]
09	Vertical Slat	[Image]
10	Vertical Slat	[Image]
11	Vertical Slat	[Image]
12	Vertical Slat	[Image]
13	Vertical Slat	[Image]
14	Vertical Slat	[Image]
15	Vertical Slat	[Image]
16	Vertical Slat	[Image]
17	Vertical Slat	[Image]
18	Vertical Slat	[Image]
19	Vertical Slat	[Image]
20	Vertical Slat	[Image]
21	Vertical Slat	[Image]
22	Vertical Slat	[Image]
23	Vertical Slat	[Image]
24	Vertical Slat	[Image]
25	Vertical Slat	[Image]
26	Vertical Slat	[Image]
27	Vertical Slat	[Image]
28	Vertical Slat	[Image]
29	Vertical Slat	[Image]
30	Vertical Slat	[Image]



BUILDING C
VIEW FROM COURTYARD



01 ELEVATION
Courtyard Elevation -
Building C



SITE 12A
105 - 115 Portman St, Green
Square, NSW 2017
for
BRIDGEHILL

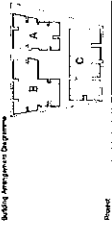
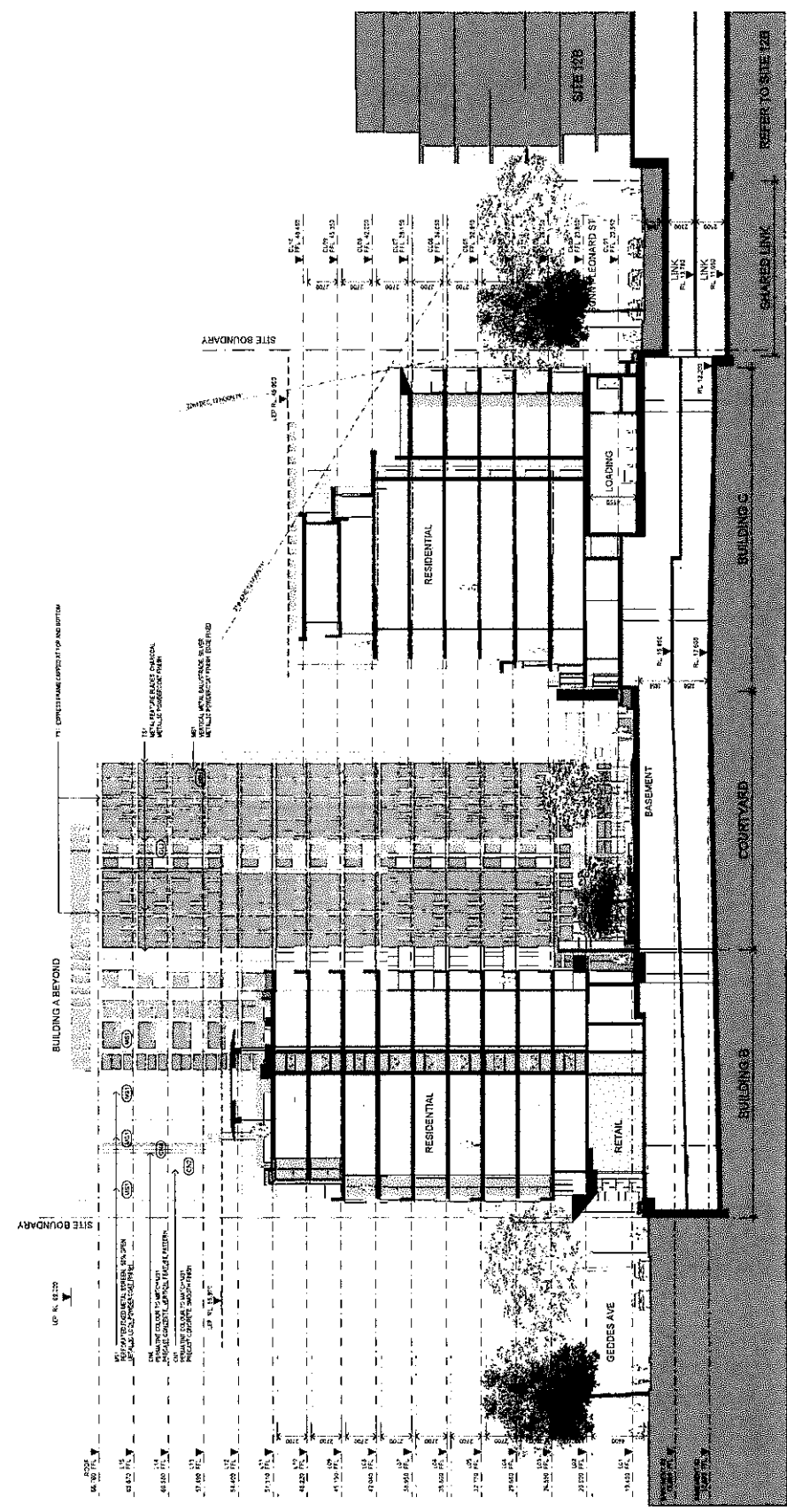
Internal Elevations
Sheet 2

Date:	29.09.15	Scale:	As indicated	Sheet No:	@ A1
Reference:	DA	Drawn:	EK	Checked:	JP
DA:	5036	Revision:	DA-0506	Revision:	30



Approved drawings shall be used in accordance with the provisions of the Building Act 2011. The contractor shall be responsible for ensuring that the drawings are used in accordance with the provisions of the Building Act 2011. The contractor shall be responsible for ensuring that the drawings are used in accordance with the provisions of the Building Act 2011.

Rev.	Date	Revised	By	CHK
1	25/09/15			
2	25/09/15			
3	25/09/15			
4	25/09/15			
5	25/09/15			
6	25/09/15			
7	25/09/15			
8	25/09/15			
9	25/09/15			
10	25/09/15			



Project: **SITE 12A**
105 - 115 Portman St, Green Square, NSW 2017
 for **BRIDGEHILL**

Sections - Sheet 01

Scale:	1:200
Author:	JP
Check:	JP
Date:	25/09/15
Project No:	DA-0601
Sheet No:	30



As shown on and subject to the relevant Planning and Building Certificates, the proposed development is subject to the following conditions:

1. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
2. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
3. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
4. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
5. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
6. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
7. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
8. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
9. The proposed development shall be in accordance with the relevant Planning and Building Certificates.
10. The proposed development shall be in accordance with the relevant Planning and Building Certificates.

The following information is provided for your information:

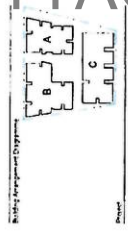
Administrative Fee: \$1000

Professional Fees: \$1000

Other Fees: \$1000

Total Fees: \$3000

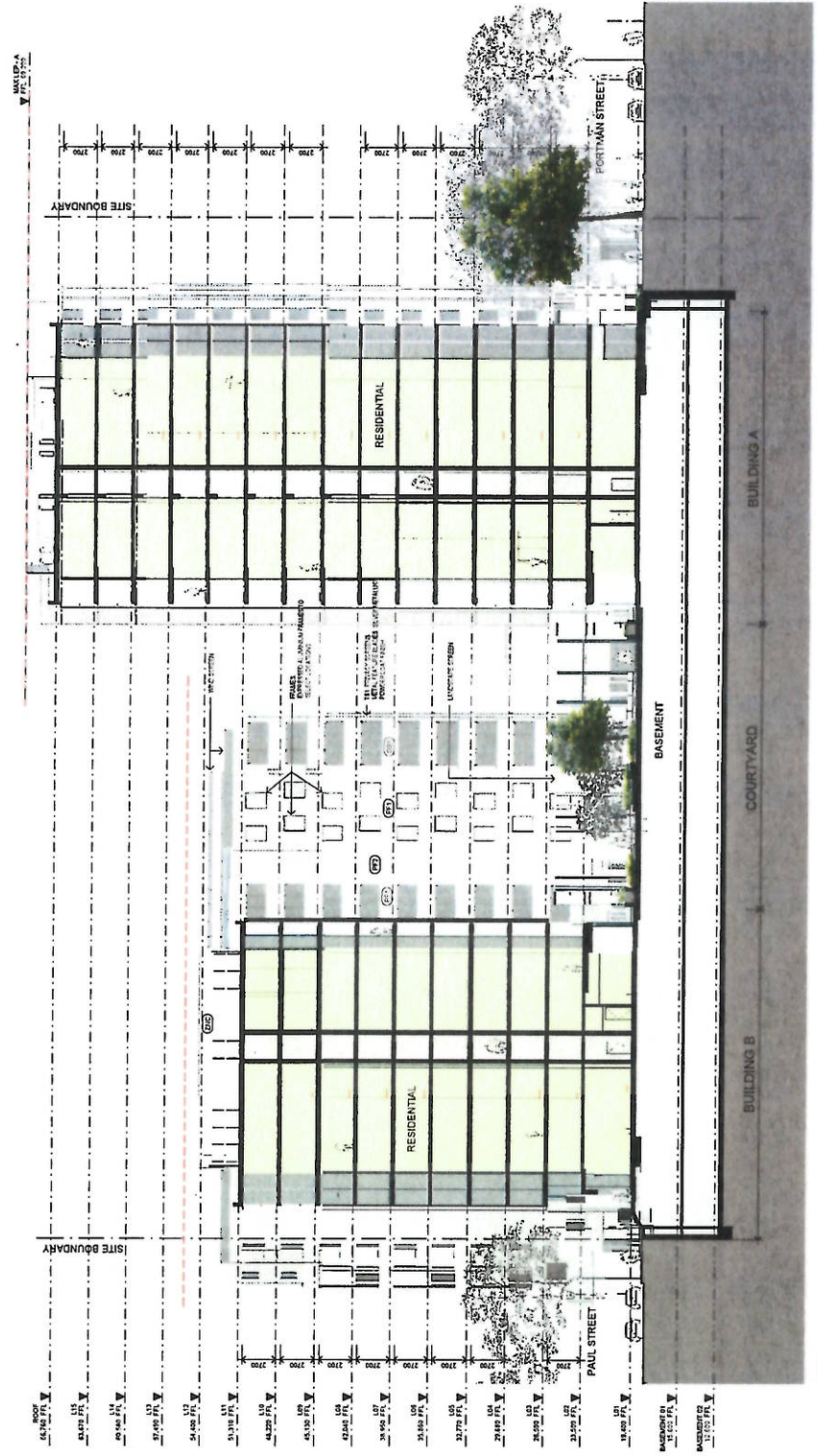
Rev.	Date	By	Reason	Scale
1	23/09/15	DA	Initial Design	1:200
2	23/09/15	DA	Final Design	1:200
3	23/09/15	DA	Final Design	1:200
4	23/09/15	DA	Final Design	1:200
5	23/09/15	DA	Final Design	1:200
6	23/09/15	DA	Final Design	1:200
7	23/09/15	DA	Final Design	1:200
8	23/09/15	DA	Final Design	1:200
9	23/09/15	DA	Final Design	1:200
10	23/09/15	DA	Final Design	1:200



SITE 12A
 105 - 115 Portman St, Green
 Square, NSW 2017
 for
BRIDGEHILL

Sections - Sheet 02

Date	23/09/15	Scale	1:200	Sheet Size	A1
Drawn	DA	Checked	JP	Project No.	5036
Drawn No.		Checked No.		Revision	DA-0602 30



SECTION 02
 (A-220) Section 02
 1/200